



PO Box 879, 1027 Aldous Street, Smithers, BC V0J 2N0  
Telephone (250) 847-1600 Fax (250) 847-1601  
www.smithers.ca

## DEVELOPMENT PROPOSAL APPLICATION

**APPLICATION TYPE:** Enter all applications under miscellaneous (MS) category development (DEV)

- ☐ Joint Official Community Plan & Zoning Amendment (\$2,000) DEV001 ☐ Board of Variance (\$750) DEV003  
☐ Official Community Plan Amendment (\$1,500) DEV001 ☐ Development Variance Permit (\$750) DEV003  
☐ Zoning Bylaw Amendment (\$1,500) DEV001 ☐ Development Variance Permit (minor)\* (\$300)  
☐ Development Permit with minor variance\* (\$800) DEV003 ☐ Development Permit with no variance (\$750) DEV003  
☒ Development Permit with variance (\$1,100) DEV003 ☐ Development Permit Amendment (\$600) DEV003  
☐ Temporary Use Permit (\$1,000) DEV003 ☐ Temporary Use Permit Extension (\$1,000) DEV003

### APPLICANT INFORMATION

#### APPLICANT

Name(s): Heather Honeycutt  
Mailing address: 2 [REDACTED]  
Phone: [REDACTED]  
Fax/Email: [REDACTED]

#### REGISTERED OWNER(S)

Name(s): BC Housing  
Mailing address: [REDACTED]  
Phone: [REDACTED]  
Fax/Email: [REDACTED]

### SUBJECT PROPERTY INFORMATION

Civic address: 3879, 3887, 3895 Alfred Ave.  
Legal description: Lot 17, Block 74, Plan PRP1054, District Lot 5289, Range 5, Coast Range 5 Land District  
Description of the present use of the property: Three Lots, Residential  
  
  
Existing OCP designation: HDR/DC Existing zoning designation: CD-1  
Proposed OCP designation: HDR/DC Proposed zoning designation: CD-1

### PROPOSAL DESCRIPTION (supplemental letter of intent/rationale is encouraged):

3-Storey Residential Building with support services. Includes surface parking and outdoor amenity spaces.

\* Minor variance means a request to vary a provision of a Town bylaw as permitted under sections 7.2 - 7.5 of the Town of Smithers Development Procedures Bylaw No. 1908.

## ATTACHMENT CHECKLIST

### A) PLEASE ATTACH THE FOLLOWING FOR ALL APPLICATIONS:

- ☒ Letter of authorization if the applicant is other than the registered owner(s).
- ☐ Site Disclosure Statement in accordance with the *Environmental Management Act* and *Contaminated Sites Regulation*.
- ☒ Site plan (including 1 set of reduced 8.5x11 plans) showing:
  - Location of existing and proposed buildings and structures, lot dimensions & setbacks.
  - Parking areas, loading space, access/egress, garbage areas & landscaping.
  - North arrow & scale.
  - Measurements in metric (imperial measurements may also be included).
- ☒ Supplemental letter of intent & rationale is strongly encouraged but not required.
- ☒ Other information as necessary to assess the development proposal.

### B) OCP &/OR ZONING AMENDMENT APPLICATIONS ONLY:

- ☐ Acknowledge sign notification posting requirements as specified by the Town of Smithers.

### C) ENVIRONMENTAL DEVELOPMENT PERMIT APPLICATIONS ONLY:

- ☐ Plans showing:
  - ☐ Toe of slope and top of bank;
  - ☐ Location of watercourses and any watercourse setback areas that are located on or that abut the site;
  - ☐ Existing and proposed grades, including details on proposed retaining walls;
  - ☐ Floodplain areas;
  - ☐ Areas to be cleared, areas of cut and fill and proposed sequencing/timing.

### D) FORM & CHARACTER DEVELOPMENT PERMIT APPLICATIONS ONLY:

- ☒ Elevation drawings illustrating all sides of the building(s) & including proposed signage details.
- ☒ Exterior samples and materials.

### E) TEMPORARY USE PERMIT APPLICATIONS ONLY:

- ☐ Rationale & long term plan outlining when & how temporary use will be ended, buildings/area to be used, hours of use & site rehabilitation.
- ☐ Permit length requested (max. 3 years): \_\_\_\_\_

## AUTHORIZATION

As the applicant or approved agent, I hereby make application in accordance with the above-stated information and declare that the statements are true and correct.

I understand that this application form is a public document and that any and all information contained in it, including personal information as defined in the *Freedom of Information and Protection of Privacy Act* of BC, is open for inspection by the public and may be reproduced and distributed to the public as part of a report(s) to Council or for purposes of a public hearing.

I acknowledge that fees as per the Town of Smithers Development Procedures Bylaw No. 1807 do not imply or guarantee application approval.

Applicant Signature: \_\_\_\_\_

Date: October 12, 2025

Your personal information is maintained in accordance with the *Freedom of Information and Protection of Privacy Act*. If you have any questions regarding the use of your personal information, please call the Director of Corporate Services for the Town of Smithers at 250-847-1600.



LEARN, PIVOT,  
RE-LEARN



MOTIVATED &  
RESPONSIVE



WE CAN COUNT  
ON YOU



A HUMBLE  
"WE" ATTITUDE



BE CURIOUS

October 12, 2025

Town of Smithers  
Works & Operations  
1027 Aldous Street, Smithers BC

Attention: Deepa Chandran, Planner

BCH Smithers: 3879, 3887, 3895 Alfred Ave  
SOA #24039

Dear Deepa,

The proposed project is for 40 units of supportive housing. The first floor includes a shelter with support services along Queen St and a separate set of support services for residents along Alfred Ave. Floors 2 and 3 contain studio units for residents who are at risk of or were facing homelessness. The site design includes outdoor amenity spaces and parking.

The following outlines the proposed variances, the reasons for them, and what has been proposed as an alternative to meeting the bylaw's requirements.

## 1. Bicycle Parking

Requirement: 1 per Unit; Class 1: 100%, 40 Spaces

Provided: Class 1; 21 Spaces, Class 2; 14 Spaces, Total 35 Spaces

Due to the unique demographic of the residents, the walkability of the town, the convenient access to public transit, and tight site constraints, we believe the provided mix of secure and non-secure spaces is acceptable.

Please contact me if you would like to discuss these variances further or require any additional information.

Thanking you in advance,

A handwritten signature in black ink, appearing to read 'Heather Honeycutt'.

Heather Honeycutt, Architect AIBC  
Station One Architects



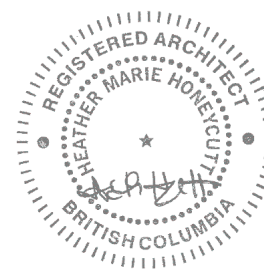


# COVER SHEET

BCH ALFRED AVE, SMITHERS

3879, 3887, 3895 ALFRED AVENUE, SMITHERS

SCALE  
JOB NO. 24039



2025-10-10

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ARTIST RENDERINGS FOR REFERENCE ONLY





# RENDERINGS

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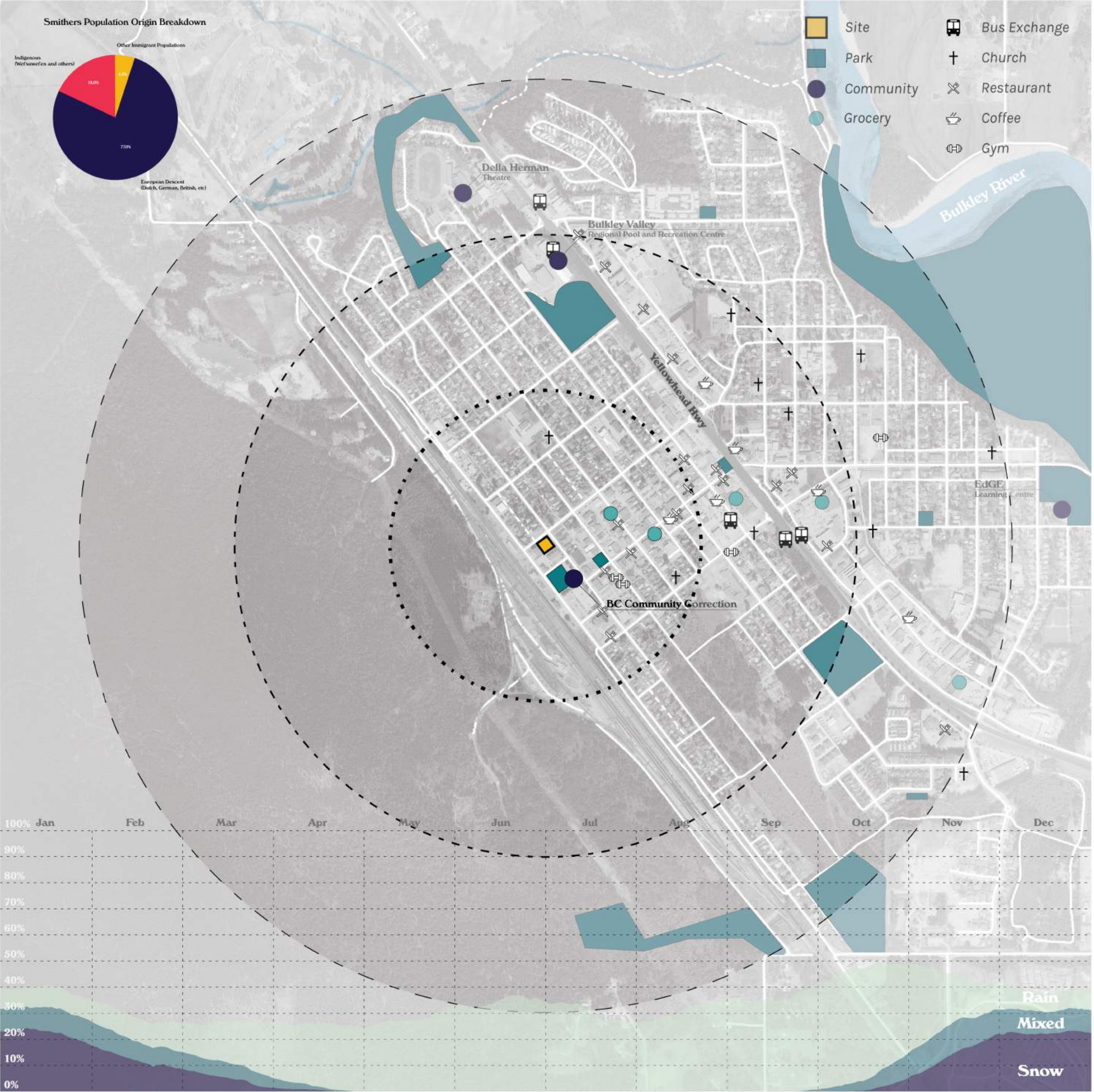
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CONTEXT PLAN

BCH ALFRED AVE, SMITHERS

3879, 3887, 3895 ALFRED AVENUE, SMITHERS

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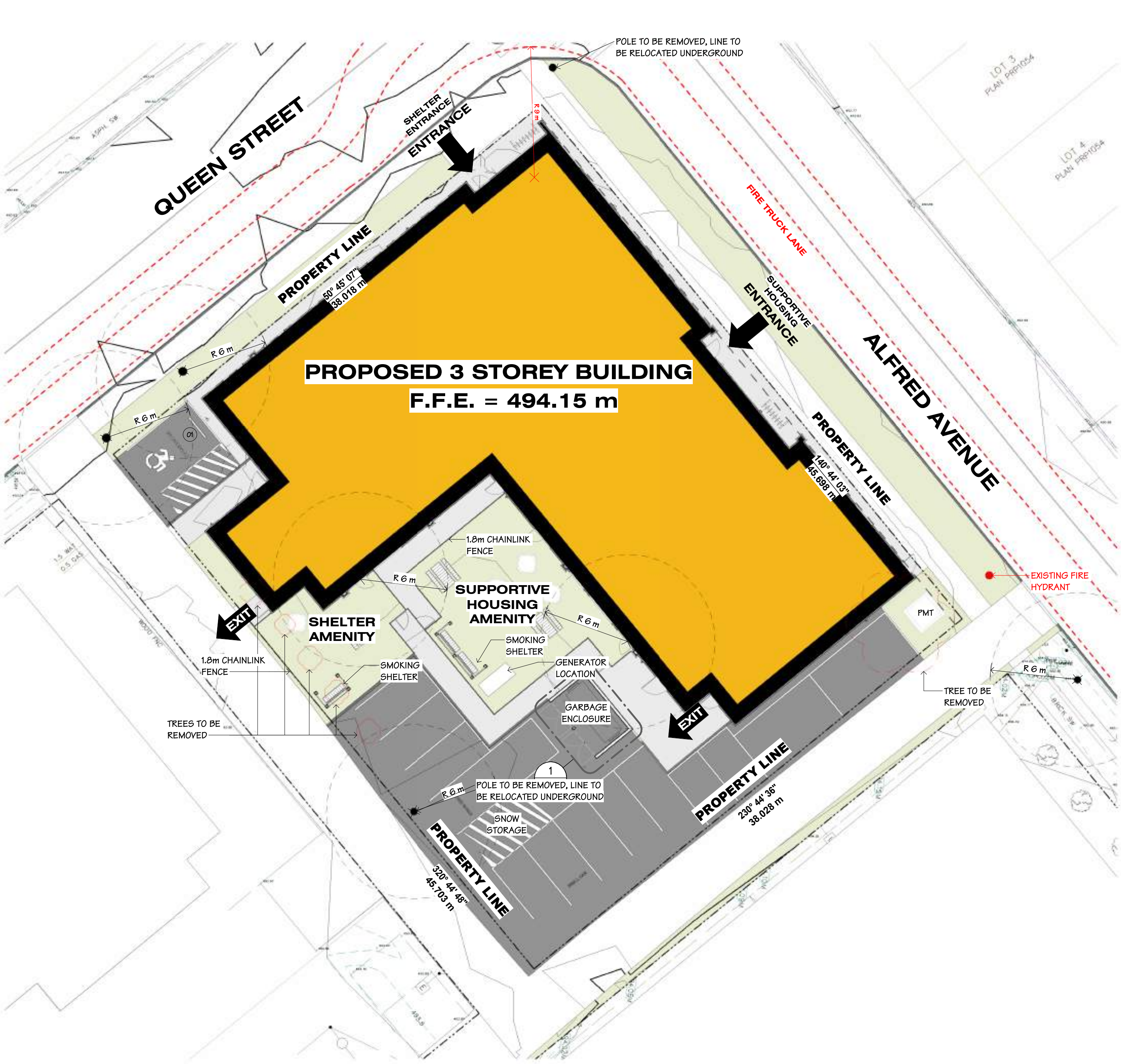
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DP - SITE PLAN  
1 : 200  
NORTH

## PROJECT INFORMATION

CIVIC ADDRESS: 3879, 3887, 3895 ALFRED AVE  
LEGAL DESCRIPTION: LOT 17, BLOCK 74, PLAN PR1054, DISTRICT LOT 5289, RANGE 5, COAST RANGE 5 LAND DISTRICT  
STANDARD DESCRIPTION: 2024 BC BUILDING CODE / DIVISION B PART 3 RESIDENTIAL  
ZONING: CD ZONE 1  
OCP LAND DESIGNATION: HIGH DENSITY RESIDENTIAL/DOWNTOWN COMMERCIAL  
DENSITY: MAX 1 UNIT PER 33.8 m<sup>2</sup> SITE AREA  
51 UNITS MAX (COMPLIES)  
TOTAL SITE AREA: 1737.68 m<sup>2</sup>

### ZONING BYLAW REVIEW

ZONING (SECTION 9.1)  
COMPREHENSIVE DEVELOPMENT ZONE

OCP LAND USE DESIGNATION:  
HIGH DENSITY RESIDENTIAL/DOWNTOWN COMMERCIAL

### PERMITTED PRINCIPAL USES (SECTION 9.1.1)

PRINCIPAL LAND USES: SUPPORTIVE HOUSING INCLUDING COMPLEX CARE UNITS AND EMERGENCY SHELTER

### REGULATIONS (SECTION 9.1.2)

PARCEL AREA: NO MINIMUM  
PARCEL WIDTH: NO MINIMUM  
PARCEL COVERAGE: 75% MAXIMUM FOR ALL BUILDINGS AND STRUCTURES  
PROPOSED COVERAGE: ---  
DENSITY: MAXIMUM ONE DWELLING UNIT PER 33.8 m<sup>2</sup> OF PARCEL AREA  
PROPOSED FAR: ---  
SETBACKS:  
FRONT YARD: 0 m  
REAR YARD: 0 m  
SIDE YARD: 0 m  
EXTERIOR: 0 m  
INTERIOR: 0 m  
PERMITTED HEIGHT: 3 STOREYS OR 12 m MAXIMUM, WHICHEVER IS LESS  
PROPOSED HEIGHT: ---

### PARKING BYLAW REVIEW

#### REQUIRED PARKING SPACES (SECTION 2.10.2)

CD 1 ZONE: SUPPORTIVE HOUSING  
REQUIRED: 1 PER EVERY 3 DWELLING UNITS  
40 DWELLING UNITS / 3 = 13 PARKING SPACES REQUIRED  
PROPOSED: ---

#### ELECTRIC VEHICLE CHARGING REQUIREMENTS

(a) THE FOLLOWING ELECTRIC VEHICLES ARE REQUIRED FOR EVERY COMMERCIAL OR MULTI-UNIT RESIDENTIAL DEVELOPMENT:  
I. WHERE 10-14 PARKING STALLS ARE REQUIRED ONE ELECTRIC VEHICLE SPACES IS REQUIRED  
II. WHERE 15 OR MORE PARKING STALLS ARE REQUIRED TWO ELECTRIC VEHICLE SPACES IS REQUIRED

#### BICYCLE PARKING REQUIREMENTS (SECTION 2.10.4)

ALL REQUIRED BICYCLE PARKING SPACES SHALL BE PROVIDED ON THE SAME PARCEL AS THE BUILDING OR USE FOR WHICH THE SPACES ARE REQUIRED, AND THE NUMBER OF SPACES SHALL BE PROVIDED AND MAINTAINED IN ACCORDANCE WITH REGULATIONS.

#### FOR THE PURPOSE OF THIS BYLAW:

- CLASS 1" MEANS A SECURE, WEATHER-PROTECTED BICYCLE PARKING FACILITY USED TO ACCOMMODATE LONG-TERM PARKING, SUCH AS FOR RESIDENTS OR EMPLOYEES, USUALLY WITHIN A BUILDING OR COVERED, FENCED AREA; AND
- CLASS 2" MEANS A SHORT-TERM VISITOR BICYCLE PARKING FACILITY THAT MAY OFFER SOME SECURITY, AND MAY BE PARTIALLY PROTECTED FROM THE WEATHER, FOR EXAMPLE A BICYCLE RACK AT A BUILDING'S ENTRANCE.

#### APARTMENT, ROWHOUSE, TOWNHOUSE:

REQUIRED: 1 PER UNIT (CLASS 1 - 100%)  
40 DWELLING UNITS X 1 PER UNIT = 40 BICYCLE PARKING SPACES

PROPOSED: CLASS 1: 21 SPACES - VARIANCE REQUIRED  
CLASS 2: 14 SPACES

#### PARKING SPACE SPECIFICATIONS (SECTION 2.10.9)

EACH OFF-STREET PARKING SPACE SHALL COMPLY WITH THE FOLLOWING MINIMUM DIMENSIONS:

STANDARD	REQUIRED WIDTH:	2.7 m
	REQUIRED LENGTH:	5.4 m
SMALL CAR	REQUIRED WIDTH:	2.6 m
	REQUIRED LENGTH:	4.5 m
PARALLEL	REQUIRED WIDTH:	3 m
	REQUIRED LENGTH:	6.7 m
ACCESSIBLE	REQUIRED WIDTH:	3.7 m
	REQUIRED LENGTH:	5.4 m

NO MORE THAN 20% OF REQUIRED PARKING MAY BE SMALL CAR PARKING SPACES. EACH SMALL CAR PARKING SPACES SHALL BE CLEARLY MARKED "SMALL CAR ONLY"  
13 REQUIRED PARKING SPACES X 20% OF SMALL CAR PARKING SPACES = 3 SMALL CAR PARKING SPACES

A PORTION OF THE REQUIRED PARKING SPACES SHALL BE ACCESSIBLE FOR PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE FOLLOWING:  
1-20 PARKING SPACES = 1 ACCESSIBLE PARKING

ACCESS AND EGRESS LANES FROM A PARKING AREA TO A STREET OR LANE, SHALL BE NOT LESS THAN 6 METERS IN WIDTH. ACCESS AND EGRESS LANES TO A STREET SHALL BE NOT LESS THAN 7.6 METERS FROM ANY INTERSECTION.

REQUIRED ACCESS AISLE WIDTH: 90 DEGREES SINGLE ROW PARKING 6m

#### LOADING REQUIREMENTS (SECTION 2.11)

EACH OFF-STREET LOADING SPACE SHALL BE NOT LESS THAN 9 METERS IN LENGTH AND 3 METERS IN WIDTH AND SHALL HAVE A VERTICAL CLEARANCE OF AT LEAST 4.2 METERS.

## SITE PLAN NOTES

- THIS SITE PLAN IS TO BE READ IN CONJUNCTION WITH CIVIL & LANDSCAPE PLANS.
- ALL TOP OF WALL AND FINISHED CONCRETE GRADES ARE TO BE CONFIRMED ON SITE.
- IMPERIAL FLOOR GRADE ELEVATIONS ARE ASSUMED.
- METRIC GRADE ELEVATIONS ARE ACTUAL & GEODETIC.
- MAIN FLOOR GEODETIC GRADE ELEVATION MUST BE CONFIRMED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION.
- ELECTRIC VEHICLE CHARGERS & ROUGH-INS SHALL BE INSTALLED PER THE ELECTRICAL ENGINEER'S DRAWINGS, MANUFACTURER'S INSTRUCTIONS, AND MUNICIPAL BYLAWS.

## SITE SYMBOL LEGEND

1	GRID REFERENCE	MISC. SYMBOLS	PATTERNED AREAS
Room name 101	ROOM MARKER ROOM NAME ROOM NUMBER SECTION MARKER SECTION NUMBER SHEET NUMBER	HB HOSE BIBB RWL RAIN WATER LEADER GB GAS BIBB EV ELECTRIC VEHICLE PARKING R-EV ELECTRIC VEHICLE CHARGER ROUGH-IN C.B. CATCH BASIN L.D. LAWN DRAIN LT LIGHT FIXTURE	NEW ASPHALT TRAIL EXISTING ROADS PROPOSED BUILDING LANDSCAPING BED GRASS AREA LAND DEDICATION

# SITE PLAN & BYLAW REVIEW

BCH ALFRED AVE, SMITHERS

3879, 3887, 3895 ALFRED AVENUE, SMITHERS

SCALE: As indicated  
JOB NO. 24039



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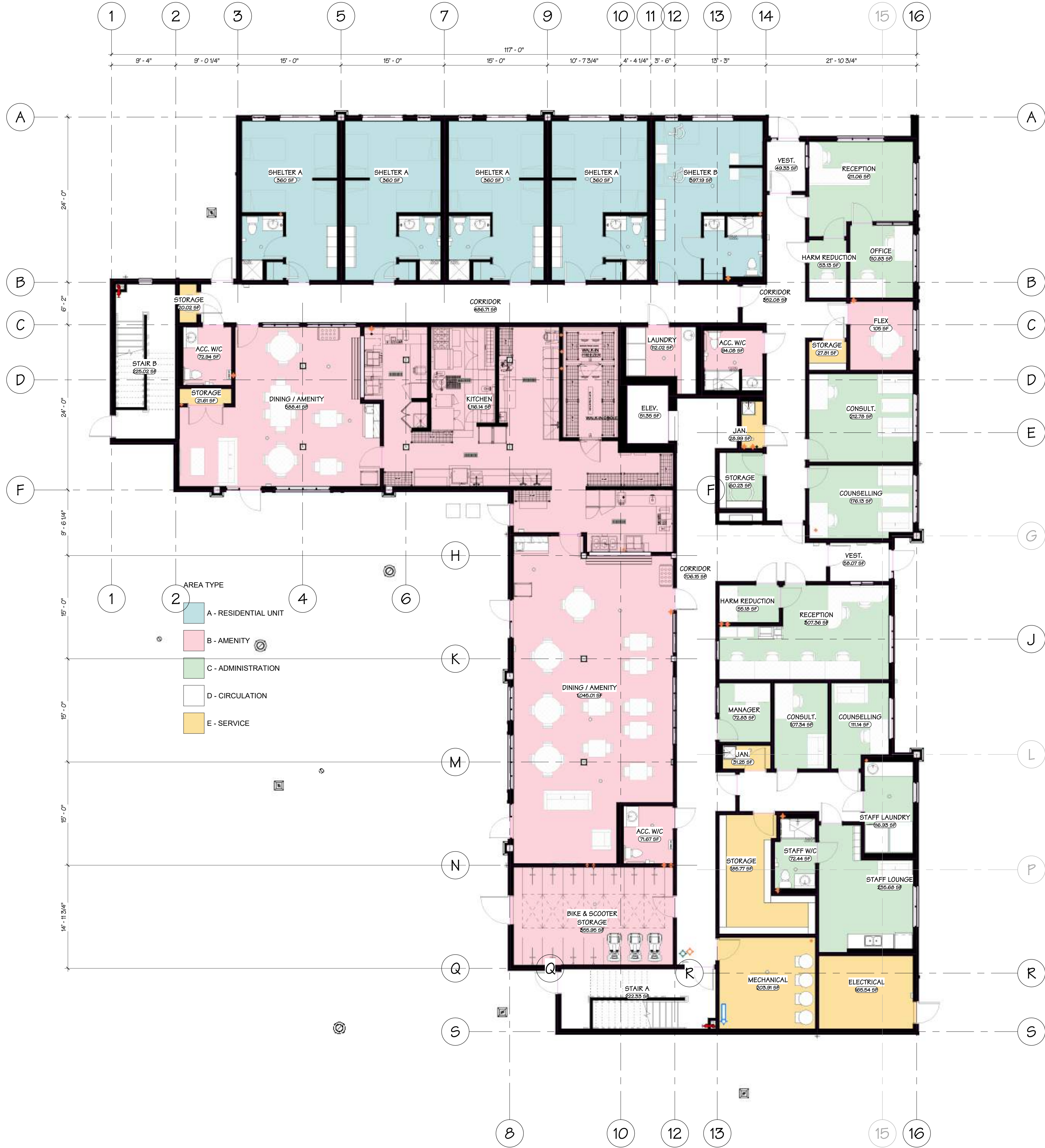
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DP1.2





FIRST FLOOR PERSPECTIVE FOR REFERENCE ONLY  
N.T.S.



# FIRST FLOOR PLAN

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SCALE 1/8" = 1'-0"  
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DP2.0





1 NORTH ELEVATION  
DP3.0  
1/8" = 1'-0"



2 EAST ELEVATION  
DP3.0  
1/8" = 1'-0"

### EXTERIOR FINISH SCHEDULE

- |    |                    |  |  |
|----|--------------------|--|--|
| 1  | WALL               |  | FIBRE CEMENT SHIPLAP SIDING<br>COLOUR:<br>a) BENJAMIN MOORE - DIJON<br>b) JAMES HARDIE - RICH EXPRESSO |
| 2  | WALL               |  | FIBRE CEMENT BOARD & BATTEN<br>COLOUR: BENJAMIN MOORE - DIJON  |
| 3  | WALL               |  | FIBER CEMENT SMOOTH PANELS WITH METAL REVEAL TRIMS<br>COLOUR: JAMES HARDIE - RICH EXPRESSO             |
| 4  | WALL               |  | METAL VERTICAL PANELS<br>COLOUR: WESTFORM - LIGHT PINE   |
| 5  | WALL               |  | STONE<br>COLOUR: MUTUAL MATERIALS - ROCKY MOUNTAIN MOSS  |
| 6  | GLAZING            |  | VINYL FRAME WINDOW<br>INTERIOR: FACTORY BLACK<br>EXTERIOR: FACTORY BLACK                               |
| 7  | GLAZING            |  | CURTAINWALL SYSTEM<br>COLOUR: CLEAR VISION GLASS   FACTORY BLACK METAL FRAME                           |
| 8  | ROOF               |  | SHINGLES<br>COLOUR: CHARCOAL GREY  |
| 9  | ROOF SOFFIT        |  | PROBOARD SOFFIT PANELS<br>COLOUR: WESTFORM - LIGHT PINE  |
| 10 | FASCIA             |  | FLAT SHEET<br>COLOUR: WESTFORM - LIGHT PINE  |
| 11 | METAL CAP FLASHING |  | COLOUR: GREY   |
| 12 | DECORATIVE TRUSS   |  | WOOD<br>COLOUR: STAIN TO MATCH WESTFORM LIGHT PINE   |

#### NOTES

1. IMPERIAL FLOOR GRADE ELEVATIONS ARE ASSUMED
2. METRIC GRADE ELEVATIONS ARE ACTUAL AND GEODETIC
3. MAIN FLOOR GEODETIC GRADE ELEVATIONS MUST BE CONFIRMED WITH CIVIL DRAWINGS PRIOR TO EXCAVATION

## EXTERIOR ELEVATIONS

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EXTERIOR FINISH SCHEDULE	
1	WALL   FIBRE CEMENT SHIPLAP SIDING COLOUR: a) BENJAMIN MOORE - DIJON b) JAMES HARDIE - RICH EXPRESSO
2	WALL   FIBRE CEMENT BOARD & BATTEN COLOUR: BENJAMIN MOORE - DIJON
3	WALL   FIBER CEMENT SMOOTH PANELS WITH METAL REVEAL TRIMS COLOUR: JAMES HARDIE - RICH EXPRESSO
4	WALL   METAL VERTICAL PANELS COLOUR: WESTFORM - LIGHT PINE
5	WALL   STONE COLOUR: MUTUAL MATERIALS - ROCKY MOUNTAIN MOSS
6	GLAZING   VINYL FRAME WINDOW INTERIOR: FACTORY BLACK EXTERIOR: FACTORY BLACK
7	GLAZING   CURTAINWALL SYSTEM COLOUR: CLEAR VISION GLASS   FACTORY BLACK METAL FRAME
8	ROOF   SHINGLES COLOUR: CHARCOAL GREY
9	ROOF SOFFIT   PROBOARD SOFFIT PANELS COLOUR: WESTFORM - LIGHT PINE
10	FASCIA   FLAT SHEET COLOUR: WESTFORM - LIGHT PINE
11	METAL CAP FLASHING COLOUR: GREY
12	DECORATIVE TRUSS   WOOD COLOUR: STAIN TO MATCH WESTFORM LIGHT PINE
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# EXTERIOR ELEVATIONS

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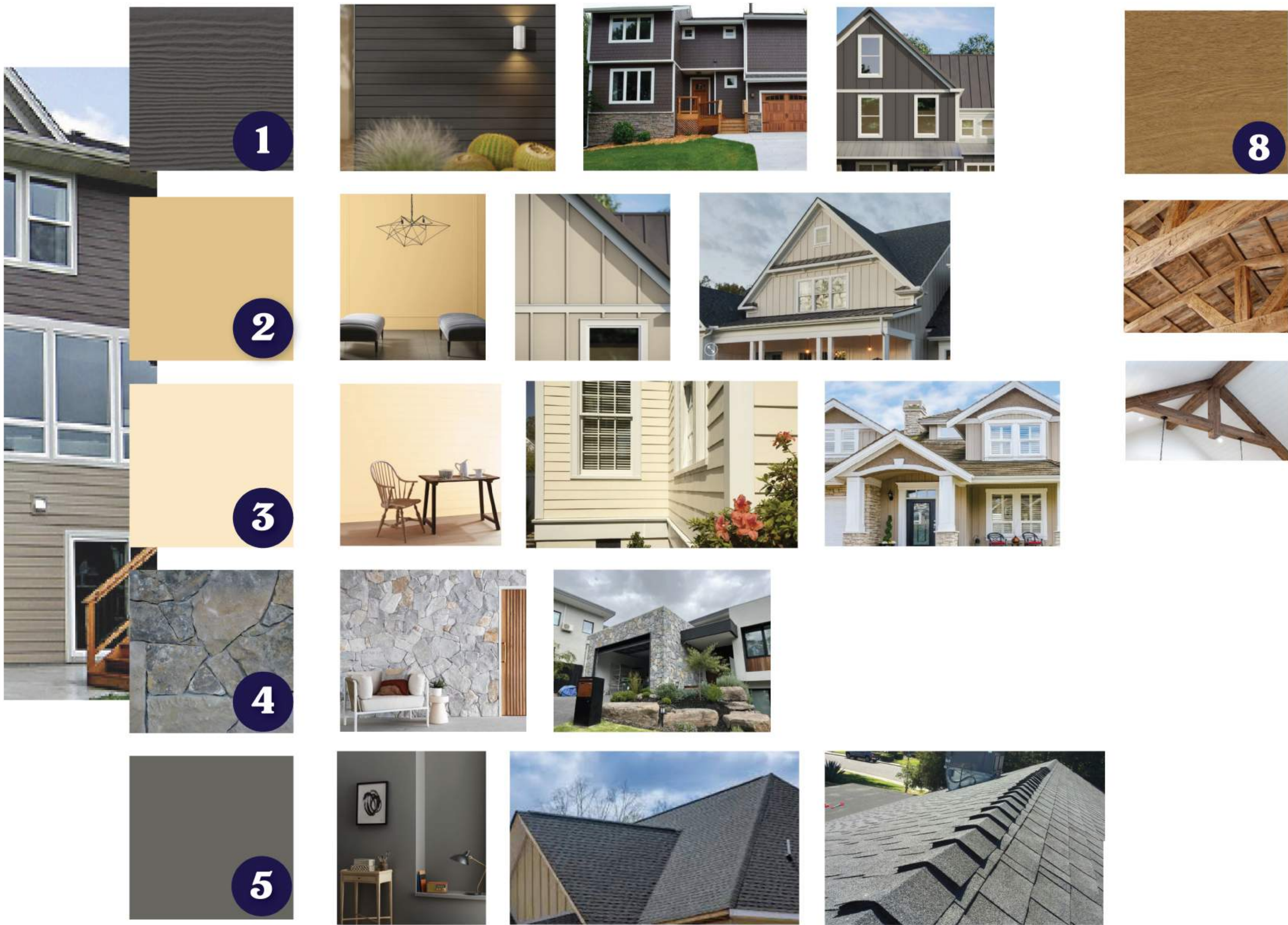
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- 1 WALL**  
FIBRE CEMENT SHIPLAP  
JAMES HARDIE  
COLOUR: JAMES HARDIE "RICH ESPRESSO"
- 2 WALL**  
FIBRE CEMENT BOARD AND BATTON  
JAMES HARDIE  
COLOUR: BENJAMIN MOORE "DIJON"
- 3 TRIM**  
FAUX WOOD  
WESTFORM METALS  
COLOUR: LIGHT PINE
- 4 WALL**  
STONE  
MUTUAL MATERIALS  
COLOUR: ROCKY MOUNTAIN MOSS
- 5 ROOF**  
ASPHALT SHINGLES  
COLOUR: BENJAMIN MOORE "KENDALL CHARCOAL"
- 6 FASCIA**  
FLAT SHEET  
WESTFORM METALS  
COLOUR: LIGHT PINE
- 7 FLASHING**  
METAL CAP FLASHING  
COLOUR: GREY
- 8 WOODEN TRUSSES**  
REAL WOOD

# EXTERIOR MATERIAL BOARD

BCH ALFRED AVE, SMITHERS  
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2025.10.10

604 793 9445  
soarchitects.com

2 - 9360 Mill Street,  
Chilliwack B.C.  
V2P 4N2

4 2025.10.10 ISSUED FOR  
DEVELOPME  
NT PERMIT



DP3.2  
station one  
architects



# BCH Smithers

## Issued for Development Permit

### Contact Information

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Kelowna Studio  
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### Key Project Contacts

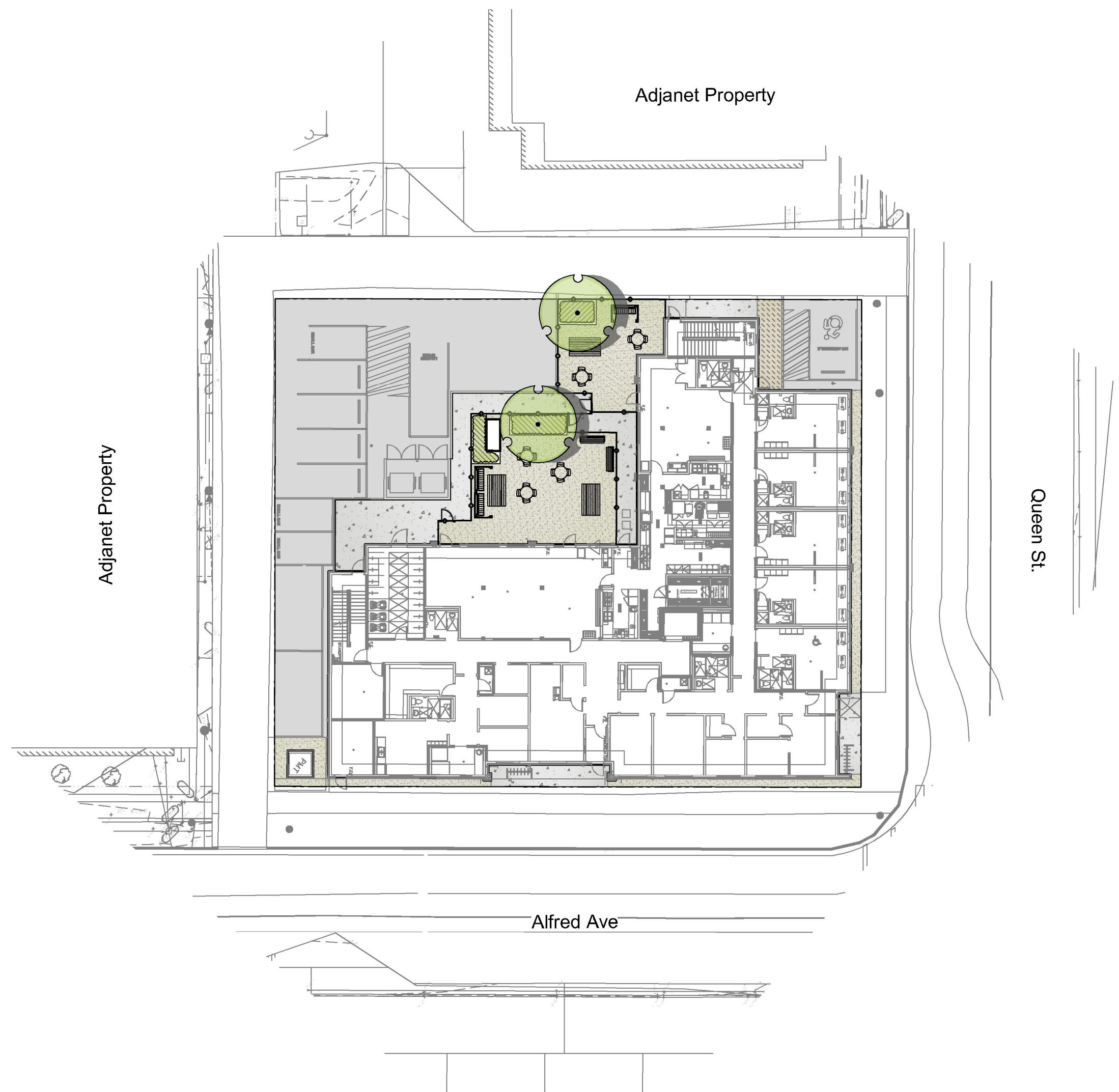
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#### Station One Architect Project Building Architecture

2-9360 Mill Street  
Chilliwack B.C.  
V2P 4N2

name  
email:  
604 793 9445



1 SITE PLAN OVERVIEW  
Scale 1:300



2 LOCATION MAP  
Scale 1:XX

3	HK	Issued for DP	2025-10-10
2	HK	Issued for DP	2025-09-24
1	AM	Issued for DP	2025-09-04
REV.	BY	DESCRIPTION	DATE

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REV.	BY	DESCRIPTION	DATE
REVISIONS TABLE FOR SHEET			

Project:  
BCH Smithers

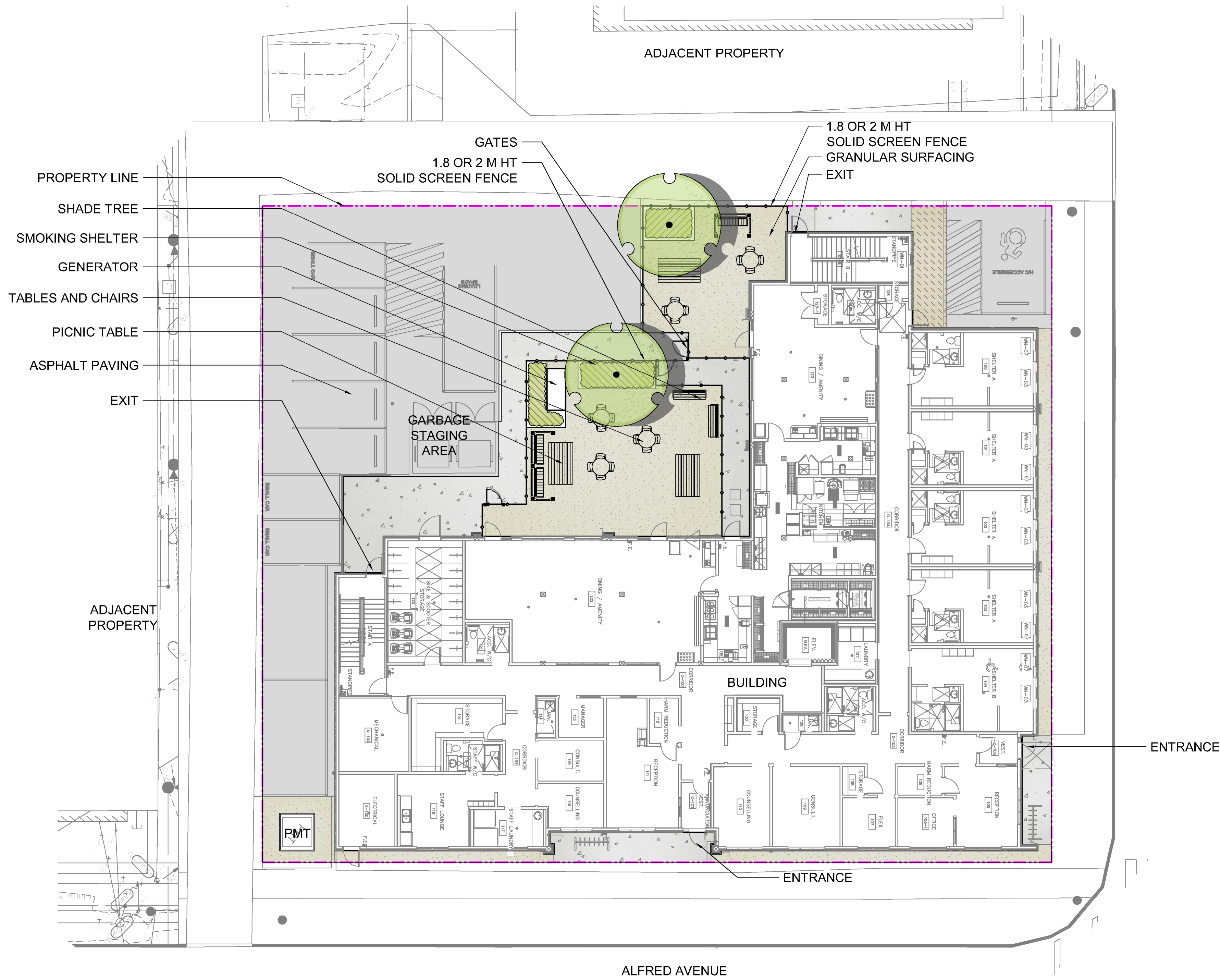
Location:  
3879, 3887, 3895 Alfred  
Avenue, Smithers

Drawn: HK	Stamp: 
Checked: AM	
Approved: AM	Original Sheet Size: 24"x36"
	Scale: AS SHOWN

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Z:\PROJECTS\DEVELOPMENT PERMIT\ACTIVE\2024\DP2024-51 BCH SMITHERS\5. DWG\SHEETS\L-01 LANDSCAPE PLAN.DWG



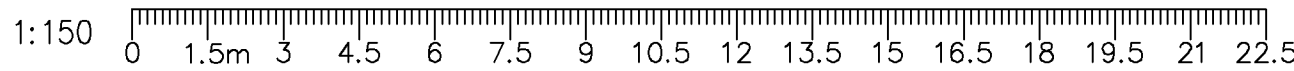
1 SITE PLAN  
Scale 1:150

#### REFERENCE NOTES SCHEDULE

SYMBOL	CODE	DESCRIPTION	QTY
	1	GATE	3
FURNITURE			
	F-01	PICKET PATIO FENCE	72.2 m
	F-02	TABLE AND CHAIRS	5
	F-03	PICNIC TABLE	3
	F-04	BENCH	2
HARDSCAPE			
	H-01	CONCRETE PAVING	124.4 m²
	H-04	CRUSHER FINES PAVING (PERMEABLE)	13.9 m²
	H-101	GRANULAR SURFACING	214.9 m²
SOFTSCAPE			
	S-21	PLANTING - SHRUBS/PERENNIALS - 0.3 / 0.6M HEIGHT	7.3 m²

#### PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	CONT	QTY
TREES				
	As	Acer rubrum 'Autumn Spire' / Autumn Spire Red Maple	2.5m Height 88B	2



3	HK	Issued for DP	2025-10-10
2	HK	Issued for DP	2025-09-24
1	AM	Issued for DP	2025-09-04
REV.	BY	DESCRIPTION	DATE

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REV.	BY	DESCRIPTION	DATE
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#### REVISIONS TABLE FOR SHEET

Project:  
BCH Smithers

Location:  
3879, 3887, 3895 Alfred  
Avenue, Smithers

Drawn:

HK / AM

Stamp:



Checked:

AM

Approved:

AM

Original Sheet Size:  
24"x36"

Scale:

1:150



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Drawing Title:  
**LANDSCAPE PLAN**

VDZ Project #:  
**DP2024-51**

Drawing #:  
**L-01**





DRAWING LIST	
E1.1	COVER PAGE
E1.2	SITE PLAN

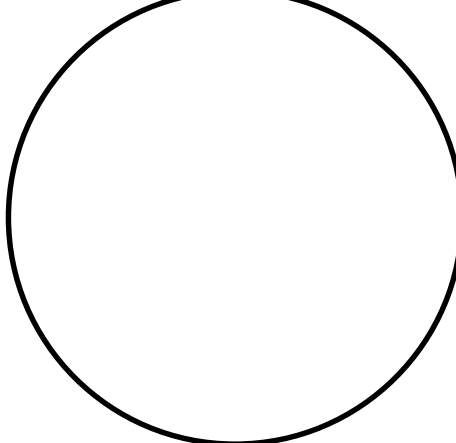
TEXT LEGEND			
CONSTRUCTION NOTES			
RE = REMOVE & REINSTALL EXISTING EQUIPMENT	BO = BLANK OFF EXISTING EQUIPMENT		
RL = RELOCATE EXISTING EQUIPMENT	ER = EXISTING EQUIPMENT TO REMAIN		
RU = REUSE EXISTING EQUIPMENT	RO = ROUGH-IN ONLY (PROVIDE COVER PLATE)		
R = REMOVE EXISTING EQUIPMENT	EX.CCT = EXISTING CIRCUIT		
RP = EXISTING EQUIPMENT TO BE REPLACED			
EQUIPMENT ABBREVIATIONS			
MOP = MAIN DISTRIBUTION PANEL	STB = SOUND TERMINAL BOARD		
SDP = SUB DISTRIBUTION PANEL	STC = SOUND CABINET		
TTB = TELEPHONE TERMINAL BOARD	FACP = FIRE ALARM CONTROL PANEL		
TTC = TELEPHONE TERMINAL CABINET	FAAP = FIRE ALARM ANNUNCIATOR PANEL		
TVTB = CABLE TELEVISION TERMINAL BOARD	IACP = INTRUSION ALARM CONTROL PANEL		
	IATC = INTRUSION ALARM TERMINAL CABINET		
EQUIPMENT SPECIFICATIONS			
WP = WEATHER PROOF	HS = HOUSE SIDE CUTOFF		
EP = EXPLOSION PROOF	WG = EQUIPMENT c/w WIRE GAUDD		
AG = MOUNTED ABOVE COUNTER	VG = EQUIPMENT c/w VANDAL GAUDD		
G = GRADE MOUNTED	PC = PHOTO ELECTRIC CELL CONTROLLED		
SR = SURFACE MOUNTED	TC = TIMELOCK CONTROLLED		
HM = HORIZONTALLY MOUNTED	EM = EMERGENCY POWER		
MF = FLUSH MOUNTED IN MILLWORK FACE	NL = EQUIPMENT c/w NIGHT LIGHT		
CONDUIT / CONDUCTORS			
CONDUIT RUNS IN WALLS OR CEILING	ISX CABLE OR FLEXIBLE METALLIC CONDUIT		
D.C. WIRING	CONDUIT RUN IN OR UNDER SLAB OR UNDERGROUND		
DENOTES NO. OF WIRES IN CONDUIT THIS EXAMPLE 5-WIRES	DENOTES GROUND WIRE		
DENOTES NO. OF CIRCUITS IN CONDUIT THIS EXAMPLE 3-CIRCUITS	DENOTES PANEL AND CIRCUIT THIS EXAMPLE PANEL A, CIRCUIT 15		
	DENOTES SWITCHING ZONE THIS EXAMPLE ZONE [ B ]		

SYMBOL LEGEND			
LIGHTING			
	WALL MOUNTED		WALL MOUNTED
	SURFACE MOUNTED		SURFACE MOUNTED
	PENDANT MOUNTED		PENDANT MOUNTED
	RECESS MOUNTED		RECESS MOUNTED
	RECESS IN WALL		FIXTURE ON EMERGENCY POWER
	SURFACE MOUNTED FLOOD		24 HOUR NIGHT LIGHT
	SITE LIGHT POLE & ARM MOUNTED LUMINAIRE ON CONCRETE BASE		FIXTURE ON DIMMING CONTROL VIA DAYLIGHT SENSOR
	SITE LIGHT POLE & POST TOP LUMINAIRE ON CONCRETE BASE		FIGTURE ON EM. POWER & DIMMING CONTROL VIA DAYLIGHT SENSOR
	BOLLARD LIGHT ON CONCRETE BASE		SURFACE MOUNT TRACK WITH HEADS PENDANT MOUNT AS NOTED
	DENOTES LUMINAIRE TYPE THIS EX. TYPE 30 REFERS TO LUM. SCHEDULE		
EMERGENCY LIGHTING / EXIT SIGNS			
	CEILING MOUNTED EXIT SIGN SHADE INDICATES FACE LOCATION		WALL MOUNTED EXIT SIGN SHADE INDICATES FACE LOCATION
	CEILING MOUNTED EXIT SIGN ARROWS TO SUIT DIRECTION SHOWN		COMBINATION BATTERY PACK EXIT SIGN WITH REMOTE HEADS
	REMOTE HEADS WALL, CEILING, OR PENDANT MOUNTED		BATTERY PACK WITH REMOTE HEADS
			BATTERY PACK
SWITCHES / CONTROL			
	SINGLE POLE SWITCH		LOW VOLTAGE SWITCH
2 = TWO POLE SWITCH		VS = VARIABLE SPEED SWITCH	
3 = THREE POLE SWITCH		TS = TIMER SWITCH	
4 = FOUR POLE SWITCH		MP = MANUAL MOTOR PROTECTION SWITCH	
K = KEY OPERATED SWITCH		DM = DIMMER SWITCH (0-10V UNLESS SPECIFIED OTHERWISE)	
P = c/w PILOT LIGHT		DS = c/w INTEGRAL DUAL SENSOR	
RS = ROLL SHUTTER SWITCH		IS = c/w INTEGRAL INFRARED SENSOR	
	REMOTE LED DRIVER		DAYLIGHT SENSOR
	DIGITAL ROOM CONTROLLER		PHOTOCCELL
	DMX LIGHTING CONTROL STATION		
	OCCUPANCY SENSOR		
120 = LINE VOLTAGE SENSOR			
	ARROW INDICATED DIRECTION OF DETECTION NO ARROW INDICATED 360° DETECTION		
RECEPTACLES			
	DUPLEX RECEPTACLE		DRYER RECEPTACLE
	SPLIT DUPLEX RECEPTACLE		RANGE RECEPTACLE
	TOP SWITCHED SPLIT DUPLEX AS SPECIFIED		SPECIAL RECEPTACLE AS SPECIFIED
	DUPLEX RECEPTACLE 5-20R		DIRECT CONNECTION AS SPECIFIED
	SINGLE RECEPTACLE		MOUNTED IN FLUSH BOX FLOOR OR CEILING AS SPECIFIED
	QUAD RECEPTACLE		ON DROP CORD FROM CEILING
			ON DROP CORD REEL FROM CEILING
AFDI = ARC FAULT CIRCUIT INTERRUPTER	D = DRYER	BH = BLOCK HEATER	
GFI = GROUND FAULT CIRCUIT INTERRUPTER	OW = DISHWASHER	POS = POINT OF SALE	
SP = SURGE PROTECTED	W = MICROWAVE	VM = VENDING MACHINE	
IG = ISOLATED GROUND	WMW = WASHING MACHINE	DF = DRINKING FOUNTAIN	
HG = HOSPITAL GRADE	F = REFRIGERATOR OR FREEZER	HK = HOUSEKEEPING	
TL = TWIST LOCK	UP = UNDER COUNTER REFRIGERATOR	MF = MILLWORK FACE	
TR = TAMPER RESISTANT	USB = USB OUTLET		
COMMUNICATIONS			
	COMMUNICATION OUTLET		FAX - DEDICATED FAX LINE
IT = NO. OF TEL JACKS		WAP = WIRELESS ACCESS POINT	
IV = NO. OF VOICE JACKS		USB = USB OUTLET	
TD = NO. OF DATA JACKS		EM = EMERGENCY CALL STATION	
TC = NO. OF CABLE TV JACKS		WH = WALL TELEPHONE HANDSET	
THESE EXAMPLES 1 (ONE) JACK		HDMI = HDMI AUDIOVISUAL OUTLET	
	TELEPHONE SERVICE BOX		CABLE VISION SERVICE BOX
	AUDIO VISUAL BOX		MOUNTED IN FLUSH BOX FLOOR OR CEILING AS SPECIFIED
	2 GANG DEEP MASONRY BOX		DOOR CHIME c/w TRANSFORMER
	COMMUNICATION CONSOLIDATION BOX 12V, 5, 12V, 1, 12V		INTERCOM STATION
	CLOCK DF = DOUBLE FACE		MICROPHONE OUTLET
	VOLUME CONTROL		
	RECESSED SPEAKER		PERF = PERFORMANCE SPEAKER
	PEND = PENDANT MOUNT		PA = PUBLIC ADDRESS
	SURFACE SPEAKER		DF = DOUBLE FACING
	WALL MOUNT SPEAKER		VE = VOICE ENHANCEMENT
SECURITY			
	DOOR CONTACT		REQUEST TO EXIT
	WINDOW CONTACT		ELECTRIC DOOR LOCK
	PROXIMITY READER		GLASS BREAK DETECTOR
	KEYPAD		SECURITY ALARM SIREN
	CAMERA		SECURITY ALARM SIREN c/w STROBE
	INFRARED MOTION DETECTOR		
	ARROW INDICATES DIRECTION OF DETECTION NO ARROW INDICATED 360° DETECTION		
MECHANICAL EQUIPMENT			
	THERMOSTAT		MOTOR
	REVERSE ACTING THERMOSTAT		ELECTRIC OR GAS HEATER POWER CONNECTION
	DEHUMIDISTAT		DISCONNECT SWITCH
	TIME CLOCK		MAGNETIC MOTOR STARTER
	CARBON MONOXIDE DETECTOR		VARIABLE FREQUENCY DRIVE
	BASEBOARD (EB) or KICKSPACE (EK) HEATER c/w LOW VOLTAGE CONTROL DELAY		BASEBOARD (EB) or KICKSPACE (EK) HEATER c/w INTEGRAL THERMOSTAT
FIRE ALARM			
	HEAT DETECTOR		RECESSED FIRE ALARM SPEAKER
2P = TWO POLE SWITCH			RECESSED FIRE ALARM SPEAKER c/w INTEGRAL STROBE LIGHT
MP = THREE POLE SWITCH			CEILING MOUNTED FIRE ALARM SPEAKER
	SMOKE DETECTOR		CEILING MOUNTED FIRE ALARM c/w INTEGRAL STROBE LIGHT
D = DETECT SMOKE DETECTOR			WALL MOUNTED STROBE LIGHT
DO = COMBINATION SMOKE/C.O. DETECTOR			GONG
	SMOKE ALARM		GONG c/w INTEGRAL STROBE LIGHT
CO = COMBINATION SMOKE/C.O. DETECTOR			HORN
	120V SMOKE ALARM c/w STROBE LIGHT		HORN c/w INTEGRAL STROBE LIGHT
	MANUAL PULLSTATION		PIEZO HORN BUZZER
	FIRE FIGHTERS PHONE		PIEZO HORN BUZZER c/w SILENCE BUTTON AND STROBE LIGHT
	SPRINKLER ALARM		END OF THE LINE RESISTOR
	SPRINKLER VALVE FLOW SWITCH		
	SPRINKLER VALVE TAMPERS SWITCH		
	SPRINKLER PRESSURE SWITCH		
	ELECTROMAGNETIC DOOR HOLDER		
MISCELLANEOUS			
	HAND DRYER POWER CONNECTION		PUSH BUTTON
	GABAGE DISPOSAL POWER CONNECTION		FIRE PLACE POWER CONNECTION
	JUNCTION BOX		LIMIT SWITCH
	PACKPOLE		

COVER PAGE	
JOB NO.	24104
SCALE	12" = 1'-0"
DATE	2025.10.09

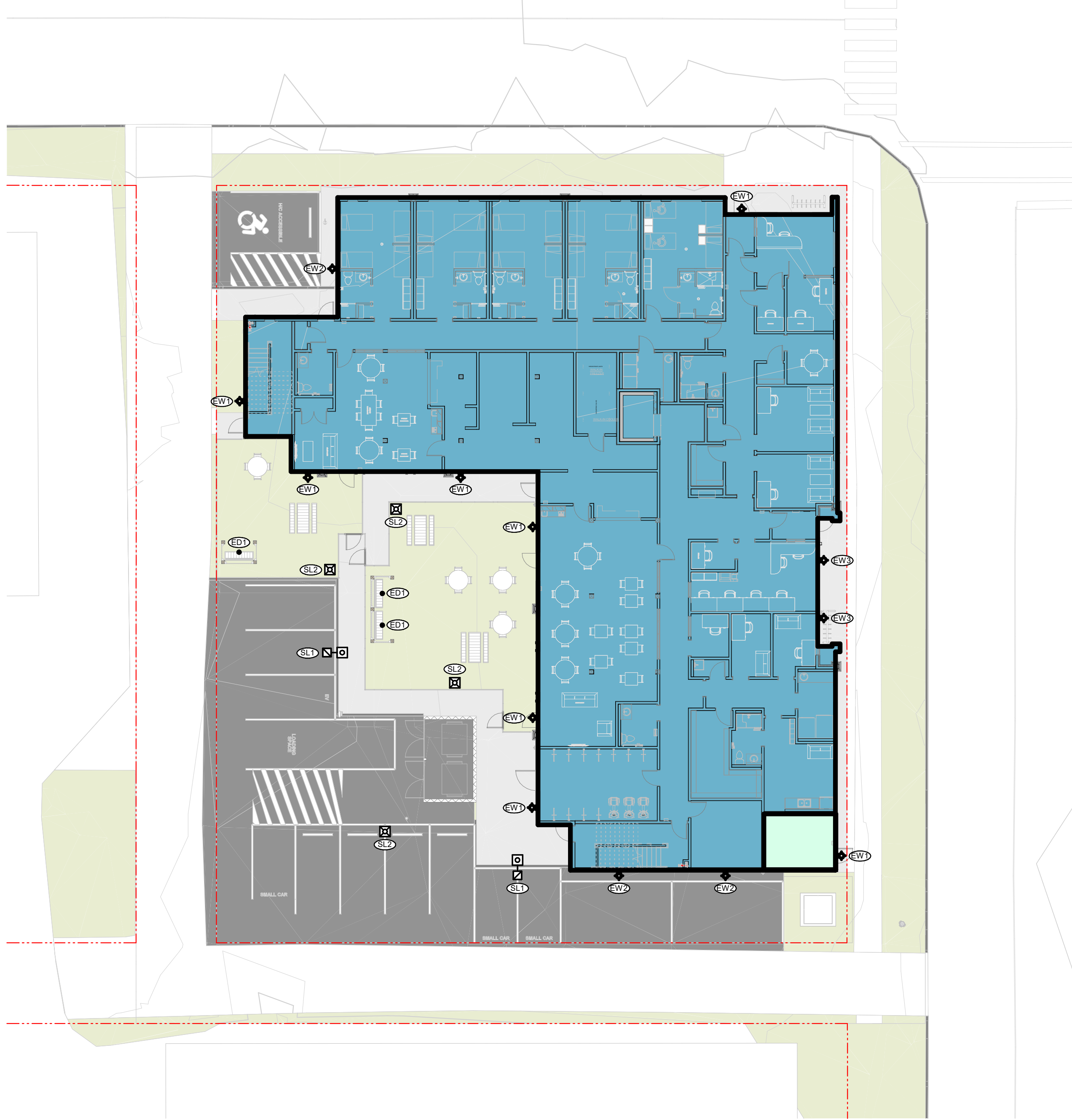
REVISIONS	
NO.	DESCRIPTION
1	Issued for Design Development
2	Issued for Development Permit

BC HOUSING SMITHERS  
SUPPORTIVE HOUSING  
3879, 3887, 3895 ALFRED AVENUE,  
SMITHERS, B.C.





 **SITE PLAN**  
1/16" = 1'-0"

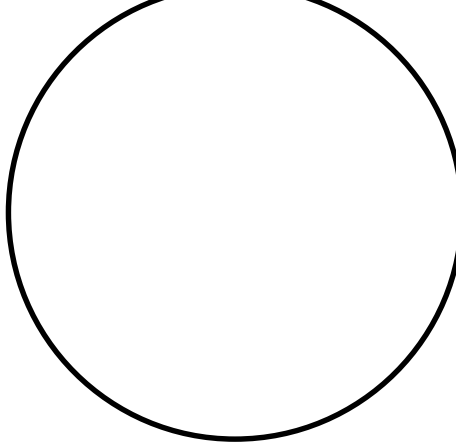


DRAWING NAME		SITE PLAN	
JOB NO.	24104	I, THE UNDERSIGNED ARCHITECT, HEREBY CERTIFY THAT THE INFORMATION CONTAINED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF, AND THAT THESE DOCUMENTS ARE OF MY OWN DESIGN AND NOT A REPRODUCTION OF ANY OTHER WORK.	
SCALE	1/16" = 1'-0"	COPYRIGHT RESERVED THIS DRAWING IS AND REMAINS AT ALL TIMES EXCLUSIVE PROPERTY OF THE ARCHITECT AND NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE EXPRESS PERMISSION OF S.O.A.	
DATE	2025.10.09		

REVISIONS		DRAWING NAME	
NO.	DATE	DESCRIPTION	
1	2025.09.04	Issued for Design Development	BC HOUSING SMITHERS SUPPORTIVE HOUSING 3879, 3887, 3895 ALFRED AVENUE, SMITHERS, B.C.
2	2025.10.09	Issued for Development Permit	



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ENGINEERING  
CONSULTANTS  
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T: 604.860.0447 F: 604.860.7580 www.jarviseng.com  
EGBC PERMIT TO PRACTICE #1093111





GENERAL NOTES

1.

ANY SIGNIFICANT REVISIONS TO THESE DRAWINGS MUST BE APPROVED BY THE OWNER'S ENGINEER, WHO SHALL REVIEW ANY CHANGES WITH THE MUNICIPAL ENGINEER, PRIOR TO ANY CONSTRUCTION.
2.

WORKSAFE BC IS TO BE GIVEN NOTICE OF CONSTRUCTION PRIOR TO THE START OF CONSTRUCTION.
3.

EXISTING UNDERGROUND UTILITIES ARE TO BE LOCATED (EXCAVATED AND SURVEYED) PRIOR TO INSTALLING ANY NEW UNDERGROUND SERVICES. ANY DISCREPANCY IN ELEVATION OR LOCATION IS TO BE REFERRED TO KM CIVIL CONSULTANTS IMMEDIATELY.
4.

THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE CAUSED TO EXISTING STREETS OR SERVICES BY CONSTRUCTION EQUIPMENT AND/OR TRUCKS HAULING MATERIALS TO THE SITE. THIS WILL INCLUDE DAILY CLEANING AND SWEEPING OF EXISTING ROADS OF DIRT AND DEBRIS CAUSED BY CONSTRUCTION ACTIVITY.
5.

TRAFFIC CONTROL IS TO BE MAINTAINED AT ALL TIMES WHEN WORKING ON OR ADJACENT TO MUNICIPAL RIGHTS-OF-WAY (SIGNS, BARRICADES, CERTIFIED FLAGPERSONS).
6.

CONSTRUCTION IN AND CLOSE TO A WATERCOURSE MUST RECEIVE PRIOR APPROVAL FROM THE PROVINCIAL MINISTRY OF ENVIRONMENT AND CLIMATE CHANGE STRATEGY AND/OR THE FEDERAL DEPT. OF FISHERIES AND OCEANS, WHERE APPLICABLE.
7.

LEGAL SURVEY POSTS, MONUMENTS, STAKES AND INTEGRATED SURVEY MONUMENTS ARE TO BE REPLACED IF DESTROYED OR DAMAGED DURING CONSTRUCTION AT THE OWNER'S EXPENSE; THIS WORK IS TO BE UNDERTAKEN BY A B.C. LAND SURVEYOR UNLESS OTHERWISE NOTED.
8.

THE TOWN OF SMITHERS'S SURVEY MONUMENTS ARE TO BE PROTECTED. SHOULD THEY REQUIRE RAISING OR RELOCATING, THE CONTRACTOR MUST NOTIFY THE MUNICIPAL INSPECTOR AT LEAST 72 HOURS IN ADVANCE OF SCHEDULING WORK AFFECTING THEM.
9.

MATERIAL SUPPLIED AND CONSTRUCTION PERFORMED ARE TO BE IN ACCORDANCE WITH THE TOWN OF SMITHERS SUBDIVISION AND DEVELOPMENT CONTROL, SERVICING STANDARDS BYLAW No. 677, 2011, MMCD SPECIFICATIONS, AND APPLICABLE DESIGN CRITERIA AND SPECIFICATION STANDARD DRAWINGS IN EFFECT AT THE TIME OF DRAWING ACCEPTANCE.
10.

APPROVED GRANULAR MATERIAL MUST BE USED FOR BACKFILL IN TRENCHES WHEN INSIDE ROAD LIMITS. APPROVED NATIVE MATERIAL MAY BE USED ONLY AS CONFIRMED IN WRITING BY A GEOTECHNICAL ENGINEER, AND ACCEPTED BY THE MUNICIPAL ENGINEER.
11.

WHERE UTILITY OR SERVICE CROSSINGS ARE REQUIRED ACROSS EXISTING PAVEMENT, ALL EXISTING PAVEMENT, BOULEVARDS, DRIVEWAYS, ETC. WHICH ARE DISTURBED DURING CONSTRUCTION MUST BE RESTORED TO ORIGINAL OR BETTER CONDITION, WHERE NO IMPROVEMENT IS OTHERWISE PROPOSED UNDER THIS CONTRACT. EXISTING DRIVEWAYS MUST BE SHAPED ACROSS THE WIDTH OF BOULEVARD TO FORM A SMOOTH TRANSITION WITH NEW PAVEMENT. THE FINISHED PAVEMENT SURFACE OVER TRENCH EXCAVATIONS MUST BLEND IN SMOOTHLY WITH EXISTING PAVEMENT.
12.

WHERE INFILLING OF DITCHES ETC. IS REQUIRED OR PROPOSED, AND WHERE SERVICES ARE CONSTRUCTED IN FILL SECTIONS, THE FILL MATERIAL MUST BE APPROVED GRANULAR MATERIAL PLACED IN LIFTS NOT EXCEEDING 300mm AND COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
13.

FIGURED DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
14.

ALL REFERENCES TO MMCD REFER TO THE 2019 EDITION.

ROADWORKS

1.

THE CONTRACTOR IS TO ENGAGE A GEOTECHNICAL ENGINEER TO PERFORM IN-PLACE TESTING DURING THE PREPARATION OF THE SUBGRADE AND CONSTRUCTION OF THE ROAD STRUCTURE TO VERIFY THE ADEQUACY OF THE PROPOSED AND EXISTING ROAD STRUCTURE AND SUBGRADE.
2.

CHANGES OF GRADE ARE TO BE FORMED BY SMOOTH VERTICAL CURVES. GRADE TRANSITIONS ARE TO BE FORMED TO BE UNNOTICABLE TO VEHICULAR TRAFFIC WHEN BEING TRAVERSED.
3.

LOOSE OR ORGANIC MATERIAL IS TO BE EXCAVATED FROM ROADWAY PRISM.
4.

GRANULAR SUB-BASE AND OTHER BASE MATERIALS MUST BE COMPACTED TO 95% MODIFIED PROCTOR DENSITY.
5.

THE ROAD BASE MUST EXTEND A MINIMUM OF 0.3m BEYOND THE SIDEWALK AND/OR CURB & GUTTER.
6.

CATCH BASIN ELEVATIONS GIVEN ARE FOR TOP OF RIM. RIM IS TO BE SET 30mm BELOW GUTTER GRADE.
7.

EXISTING VALVE BOXES, MANHOLES, ETC, WITHIN THE RIGHT-OF-WAY ARE TO BE ADJUSTED TO FINISHED GRADE.
8.

PLACEMENT OF ASPHALT CONCRETE AND PORTLAND CEMENT CONCRETE IS TO BE UNDERTAKEN ONLY WHEN WEATHER CONDITIONS ARE IN CONFORMANCE WITH MMCD SPECIFICATIONS.
9.

UNLESS OTHERWISE ACCEPTED BY THE MUNICIPAL ENGINEER, ASPHALT CONCRETE IS TO BE LAID IN A MINIMUM OF 2 LIFTS TO A MAXIMUM OF 85mm PER LIFT AND A MINIMUM OF 35mm PER LIFT.
10.

ASPHALT TAPERS TO BE CONSTRUCTED TO PAVEMENT DESIGN SPECIFICATIONS AS SHOWN IN THE TOWN OF SMITHERS SUBDIVISION AND DEVELOPMENT CONTROL SERVICING STANDARDS BYLAW No. 1800.
11.

MACHINERY AND MATERIALS MUST NOT BE PARKED OR PLACED IN THE MUNICIPAL RIGHT-OF-WAY OVERNIGHT WHERE POSSIBLE. ANY SUCH PLACEMENT WILL REQUIRE A HIGHWAY USE PERMIT AND ILLUMINATED BARRICADES AND SIGNAGE.

WATERWORKS

1.

FOR TYPICAL "UTILITY TRENCH" SECTION DETAIL, SEE MMCD STANDARD DETAIL DRAWING. PAVEMENT RESTORATION TO BE IN ACCORDANCE WITH THE TOWN OF SMITHERS STANDARDS.
2.

WATERMAIN MATERIALS MUST CONFORM TO MMCD MASTER MUNICIPAL SPECIFICATIONS, AND SCHEDULE 'A' OF THE TOWN OF SMITHERS SUBDIVISION AND DEVELOPMENT CONTROL SERVICING STANDARDS BYLAW No. 1800.
3.

TIE-INS OF PROPOSED MAINS AND SERVICE CONNECTIONS TO EXISTING WATERMAINS WILL BE PERFORMED BY THE TOWN OF SMITHERS AT THE DEVELOPER'S EXPENSE.
4.

NEW WATERMAIN IS TO BE INSTALLED TO WITHIN 2.0m OF EXISTING WATERMAIN AT CONNECTION LOCATION EXCEPT AS ACCEPTED BY THE TOWN OF SMITHERS.

5.

THE CONTRACTOR MUST ENSURE NEW WATERMAIN ELEVATION MATCHES EXISTING WATERMAIN ELEVATION AT THE CONNECTION LOCATION.
6.

THE CONTRACTOR MUST EXPOSE AND CONFIRM ELEVATION & OFFSET OF ALL UTILITIES BETWEEN NEW WATERMAIN & EXISTING WATERMAIN AT THE CONNECTION LOCATION.
7.

CONNECTIONS MUST NOT BE MADE WITHIN 1.0m OF EXISTING CONNECTIONS, BENDS, VALVES, OR OTHER SYSTEM FITTINGS.
8.

MINIMUM COVER ON WATERMAINS IS TO BE 1.8m.
9.

WATER SERVICE CONNECTIONS ARE TO BE SET SO THAT AN ADJUSTMENT OF 200mm ABOVE FINAL GRADE IS AVAILABLE BY THE TELESCOPING BURY-BOX, MINIMUM DEPTH 0.80m, MAXIMUM DEPTH 1.0m.
10.

HYDRANTS IN URBAN AREAS MUST BE SUPPLIED WITH THE CORRECT DEPTH OF BURY TO MEET FINAL BOULEVARD GRADES. FOR HYDRANT DETAILS, SEE MMCD OR TOWN OF SMITHERS STANDARD DRAWINGS.
11.

FOR VALVE-BOX AND VALVE INSTALLATION DETAILS, SEE MMCD STANDARD DRAWING.
12.

THRUST BLOCKS AS SHOWN ON MMCD STANDARD DRAWING ARE TO BE LOCATED AT VALVES, BENDS, TEES, WYES, REDUCERS AND PLUGS. REVERSE THRUST BLOCKS ARE REQUIRED ON CAPS AND BLOWOFFS
13.

HYDRANTS MUST HAVE A 1.2m OFFSET FROM PROPERTY LINE UNLESS OTHERWISE NOTED. DURING CONSTRUCTION, AND AT ANY TIME PRIOR TO ACCEPTANCE OF WATERMAINS BY THE TOWN OF SMITHERS, THE CONTRACTOR SHALL INSTALL A 300mm x 300mm SQUARE 19mm SHEET OF PLYWOOD (PAINTED WHITE) OVER THE PUMPER NOZZLE OF EACH HYDRANT TO INDICATE THAT THE HYDRANT IS NOT IN SERVICE. HYDRANTS TO HAVE A STORZ QUICK RELEASE NOZZLE INSTALLED.
14.

THE CONTRACTOR MUST ENSURE THAT ALL SECTIONS OF LINES HAVE TEST POINTS AND TEMPORARY BLOW-OFFS SUITABLE TO ENSURE ADEQUATE PRESSURE TESTING, CHLORINATION AND FLUSHING. DISCHARGE OF CHLORINATED WATER IS NOT PERMITTED INTO DITCHES, STORM SEWERS OR WATERCOURSES UNLESS NEUTRALIZED WITH SODIUM THIO SULPHATE OR APPROVED EQUIVALENT ACCEPTED BY THE TOWN OF SMITHERS.
15.

TESTING AND CHLORINATION OF WATERMAINS IS THE RESPONSIBILITY OF THE CONTRACTOR WITH INSPECTION AUTHORIZED BY THE TOWN OF SMITHERS. WATERMAINS MUST PASS PRESSURE AND BACTERIOLOGICAL TESTING BEFORE CONNECTION IS MADE TO EXISTING WATER SYSTEM.
16.

WHERE APPLICABLE, ALL SERVICE CONNECTIONS ARE TO BE MARKED ON THE CURB WITH A 2mm DEEP SAW CUT AND A 50mm x 100mm STAKE 0.3m FROM PROPERTY LINE. BOTH ARE TO BE PAINTED BLUE.

STORM SEWER

1.

STORM SEWER MATERIALS ARE TO CONFORM TO THE MMCD SPECIFICATIONS AND THE TOWN OF SMITHERS SUBDIVISION AND DEVELOPMENT CONTROL SERVICING STANDARDS BYLAW No. 1800.
2.

FOR TYPICAL "UTILITY TRENCH" SECTION DETAIL, SEE MMCD STANDARD DETAIL DRAWING.
3.

EXISTING DRAINS FROM PRIVATE PROPERTIES ARE TO BE TIED INTO THE NEW STORM SYSTEM WHEN INFILLING EXISTING DITCHES, CONNECTIONS ARE NOT TO PROTRUDE INTO MAIN.
4.

FOR TYPICAL CATCH BASIN DETAILS REFER TO MMCD STANDARD DETAIL DRAWING UNLESS OTHERWISE SPECIFIED BY MUNICIPAL ENGINEER.
5.

ALL SINGLE CATCH BASIN LEADS ARE TO BE MINIMUM 200mm DIAMETER, ALL DOUBLE CATCH BASIN LEADS ARE TO BE MINIMUM 250mm DIAMETER. NO CURVES OR BENDS ARE PERMITTED IN THE LEADS.
6.

ALL STORM SEWER SERVICE CONNECTIONS ARE TO BE MINIMUM 100mm DIAMETER FOR RESIDENTIAL AND 150mm FOR INDUSTRIAL/COMMERCIAL.
7.

DIAMETER OF ALL STORM SEWER MANHOLES MUST CONFORM TO THE MMCD STANDARD DETAIL DRAWING UNLESS OTHERWISE NOTED.
8.

MANUFACTURED WYES ARE TO BE USED ON STORM PIPE UNDER 450mm DIAMETER.
9.

STORM SEWERS ARE TO BE CONSTRUCTED WITH SEALED JOINTS UNLESS OTHERWISE SPECIFIED ON THE DESIGN DRAWINGS.
10.

WHERE APPLICABLE ALL STORM SEWER CONNECTIONS ARE TO BE MARKED BY ALL OF THE FOLLOWING - 2mm DEEP SAW CUT ON THE CURB, 50mm x 100mm STAKE (PAINTED GREEN) AND PLACED AT END OF PIPE, AND THE END OF THE PIPE TO BE CAPPED AND PAINTED GREEN. STORM IC LID IS ALSO PAINTED GREEN.
11.

TOP OF INSPECTION CHAMBER STANDPIPES IS TO BE CONSTRUCTED TO 600mm ABOVE FINAL LOT GRADE.
12.

SEWER MAINS AND CONNECTIONS TO BE VIDEO INSPECTED PRIOR TO USE. CONTRACTOR TO PROVIDE A VIDEO COPY ON DVD TO THE TOWN OF SMITHERS.

SANITARY SEWER

1.

SANITARY SEWER MATERIALS MUST CONFORM TO THE MMCD SPECIFICATIONS AND THE TOWN OF SMITHERS SUBDIVISION AND DEVELOPMENT CONTROL SERVICING STANDARDS BYLAW No. 1800.
2.

MANHOLE DETAILS TO BE IN ACCORDANCE WITH MMCD STANDARD DETAIL DRAWINGS.
3.

FOR TYPICAL DETAILS OF ALL SEWER CONNECTIONS, SEE TOWN OF SMITHERS SUPPLEMENTARY DRAWINGS.
4.

FOR TYPICAL "UTILITY TRENCH" SECTION DETAIL SEE MMCD STANDARD DETAIL DRAWING.
5.

SERVICE CONNECTIONS ARE AS PER DRAWING No. 2
6.

TOP OF INSPECTION CHAMBER STANDPIPES ARE TO BE CONSTRUCTED TO 600mm ABOVE FINAL LOT GRADE.
7.

NEW SEWER LINES TIED INTO EXISTING LINES MUST BE PLUGGED UNTIL THEY ARE TESTED, FLUSHED AND ACCEPTED BY THE TOWN OF SMITHERS.
8.

SERVICE CONNECTIONS MUST BE MADE TO THE MAIN WHEREVER POSSIBLE. SHOULD A CONNECTION HAVE TO BE MADE TO A MANHOLE, IT MUST BE AT A HIGHER ELEVATION THAN THE CROWN OF THE HIGHEST SEWER MAIN ENTERING THE MANHOLE.
9.

TIE-INS OF PROPOSED MAINS TO EXISTING SANITARY SEWER MAINS ARE TO BE PERFORMED BY THE CONTRACTOR.
10.

TESTING IS THE RESPONSIBILITY OF THE CONTRACTOR WITH INSPECTION AUTHORIZED BY THE MUNICIPAL ENGINEER. SEWER MAINS MUST PASS PRESSURE TESTING BEFORE CONNECTION IS MADE TO EXISTING SEWER SYSTEM.

11.

THE CONTRACTOR MUST DISCONNECT AND SEAL ABANDONED SERVICES TO THE ACCEPTANCE OF THE MUNICIPAL ENGINEER.
12.

CONNECTIONS TO MAIN MUST BE PERPENDICULAR TO MAIN EXCEPT AS ACCEPTED BY THE MUNICIPAL ENGINEER.
13.

WHERE APPLICABLE, ALL SANITARY SEWER CONNECTIONS ARE TO BE MARKED BY ALL OF THE FOLLOWING - 2mm DEEP SAW CUT ON CURB, 50mm x 100mm STAKE (PAINTED RED) AT END OF PIPE, AND THE END OF THE PIPE TO BE PAINTED RED. SANITARY I.C. LID IS ALSO PAINTED RED.
14.

CONTRACTOR IS RESPONSIBLE FOR ENSURING TOWN OF SMITHERS INSPECTOR IS PRESENT TO WITNESS SERVICE CONNECTION TIE-INS TO EXISTING SEWERS.
15.

SEWER MAINS AND CONNECTIONS TO BE VIDEO INSPECTED PRIOR TO USE. CONTRACTOR TO PROVIDE A VIDEO COPY ON DVD TO THE TOWN OF SMITHERS.

SILTATION CONTROL

1.

THE CONTRACTOR SHALL ENSURE THAT TEMPORARY SILTATION CONTROL IS PROVIDED DURING CONSTRUCTION AS REQUIRED BY PROVINCIAL MINISTRY OF ENVIRONMENT AND CLIMATE CHANGE STRATEGY AND/OR THE FEDERAL DEPT. OF FISHERIES AND OCEANS AND AS SPECIFIED IN PART 10 OF THE TOWN OF SMITHERS SUBDIVISION AND DEVELOPMENT CONTROL SERVICING STANDARDS BYLAW No. 677, 2015, UNTIL 90% OF THE CONSTRUCTION IS COMPLETE.
2.

THE CONTRACTOR TO RETAIN THE SERVICES OF AN ENVIRONMENTAL CONSULTANT TO REGULARLY MONITOR AND, IF NECESSARY, MODIFY SILTATION CONTROL MEASURES DURING VARIOUS PHASES OF CONSTRUCTION.
3.

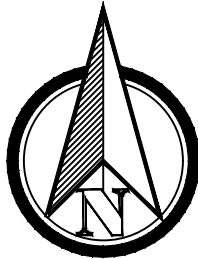
THE CONTRACTOR TO MAINTAIN EXISTING ROADS IN A CLEAN CONDITION BY SWEEPING ACCEPTABLE TO THE MUNICIPALITY.
4.

THE CONTRACTOR TO COVER ALL EXCAVATED MATERIAL WITH POLY AND INSTALL A PERIMETER SILT FENCE AROUND STOCKPILED MATERIALS.

DRAWING INDEX	
SHEET NO.	DRAWING TITLE
1	LOCATION PLAN AND GENERAL NOTES
2	SITE GRADING PLAN
3	SITE SERVICING PLAN
4	CONSTRUCTION DETAILS
5	OFFSITE ROAD WORKS
6	STREETLIGHTING (BY OTHERS)

LEGEND

PROPOSED	EXISTING	DESCRIPTION
		BENCH MARK – GEODETIC DATUM
		GRAVEL SURFACE TREATMENT
		EDGE OF PAVEMENT
		CURB AND GUTTER
		SANITARY SEWER
		SANITARY FORCE MAIN
		SANITARY SEWER SERVICE (c/w INSPECTION CHAMBER)
		STORM SEWER
		STORM SEWER SERVICE (c/w INSPECTION CHAMBER)
		CATCH BASIN – TOP INLET
		CATCH BASIN – SIDE INLET
		CATCH BASIN – ROUND
		SWALE
		DITCH
		SIDEWALK (ASPHALT)
		SIDEWALK (CONCRETE)
		WATERMAIN
		WATER SERVICE CONNECTION
		WATER VALVE
		AIR VALVE
		HYDRANT AND VALVE ASSEMBLY
		CAPPED END
		BLOW-OFF
		TEMPORARY BLOW-OFF
		JUNCTION BOX
		UNDERGROUND HYDRO/TELEPHONE
		GAS MAIN
		UTILITY POLE
		UTILITY POLE WITH LIGHT
		STREET LIGHT



LOCATION PLAN  
SCALE 1:2500

6						
5						
4						
3	2025.10.10	RE-ISSUED FOR DEVELOPMENT PERMIT	NWP	CM	DDD	
2	2025.09.04	ISSUED FOR DEVELOPMENT PERMIT	NWP	CM	DDD	
1	2025.05.15	SCHEMATIC DESIGN SUBMISSION	NWP	CM	DDD	
No.	DATE	REVISION	DRN	TECH	ENG	

LEGAL DESCRIPTION: LOTS 17, 18, 19, 20, 21, AND 22, ALL OF BLOCK 74, DISTRICT LOT 5289, RANGE 5, COAST DISTRICT PLAN 1054	
BENCHMARK: ELEVATIONS ARE ORTHOMETRIC, BASED ON GEODETIC DATUM CGVD28 (HTV2.0 GEOD). COORDINATES AND ELEVATIONS HAVE BEEN DERIVED FROM NRCAN'S PRECISE POINT POSITIONING SERVICE. SEE TOPOGRAPHICAL SURVEY BY HBH LAND SURVEYING INC. DRAWING No. BCH2425 V-001	



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Vancouver, BC V5M 0C4  
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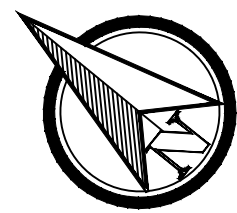
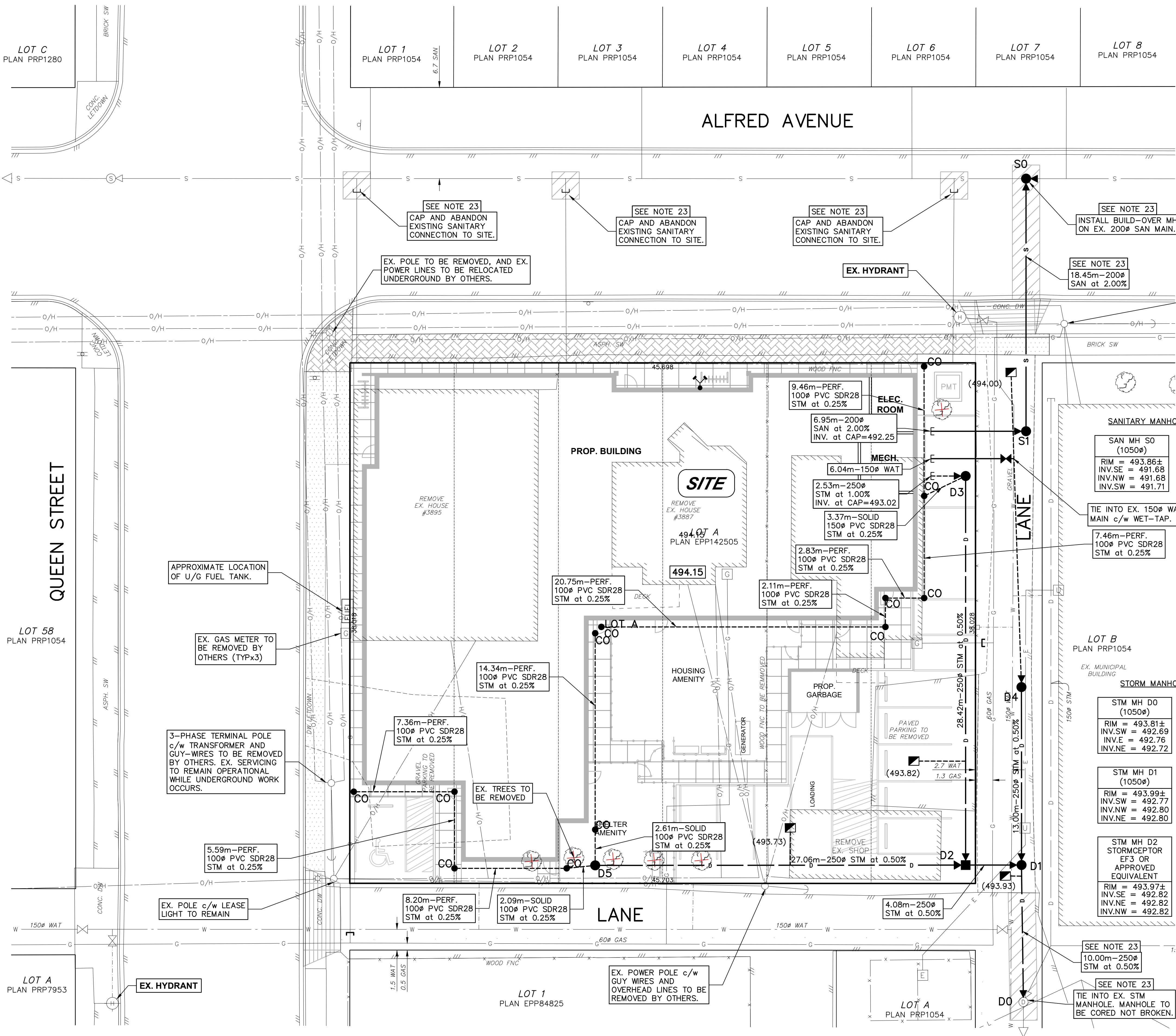
BC HOUSING c/o  
STATION ONE ARCHITECTS  
  
#2-9360 MILL STREET,  
CHILLIWACK, B.C., V2P 4N2  
ATTENTION: HEATHER HONEYCUTT  
TEL: (604)793-9445  
EMAIL: HHoneycutt@soarchitects.com

LOCATION PLAN AND GENERAL NOTES					MUNICIPAL PROJECT NUMBER:	DRAWING No.:
					MUNICIPAL DRAWING NUMBER:	1
					KM CIVIL PROJECT No.: 240477-C	of 6
					DATE: FEBRUARY, 2025	REVISION No. 3









NOTES:

- ALL DIMENSIONS AND ELEVATIONS ARE METRIC.
- EXPOSE AND VERIFY DEPTH AND LOCATION OF ALL TIE-IN POINTS AND EXISTING UNDERGROUND SERVICES CROSSING PROPOSED STORM, SANITARY AND WATER MAINS PRIOR TO COMMENCING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO KM CIVIL CONSULTANTS IMMEDIATELY.
- SEE ARCHITECTURAL DRAWINGS FOR DETAILED CURB AND BUILDING ALIGNMENT/LAYOUT, AS WELL AS DETAILS OF CONCRETE SIDEWALKS, STYLES, COLOURING, AND TYPES.
- ALL WORKS AND MATERIALS TO BE IN ACCORDANCE WITH THE BC PLUMBING CODE, MMCD LATEST EDITION, AND THE VILLAGE OF PEMBERTON BYLAW No. 677, 2011.
- REFER TO MECHANICAL PLANS FOR ALL SERVICING DETAILS WITHIN ONE METRE OF THE BUILDING.
- CONTRACTOR TO TEST, CHLORINATE AND FLUSH THE WATER SYSTEM UNDER SUPERVISION OF KM CIVIL CONSULTANTS LTD. PRIOR TO TIE-IN. 48 HOURS NOTICE IS REQUIRED.
- TYPE 1 BEDDING AND 100mm GRANULAR BACKFILL PER MMCD STD. DWG. G4.
- ALL WATER FITTINGS TO BE D.I.
- ALL WATER MAIN PIPE TO BE PVC C900 UNLESS OTHERWISE NOTED.
- ALL PVC C900 WATER MAIN TO BE INSTALLED WITH MIN. 1.8m COVER AND MIN. 0.10% GRADE.
- ALL SANITARY MAIN PIPE TO BE PVC SDR35 UNLESS OTHERWISE NOTED.
- ALL STORM MAIN PIPE TO BE PVC SDR35 UNLESS OTHERWISE NOTED.
- ALL CATCH BASINS AND LAWN DRAINS TO BE c/w TRAPPING HOODS AND 600mm SUMPS.
- ALL LAWN DRAINS TO BE 600Ø AS PER MMCD STD. DWG. S12 c/w 150Ø PVC SDR35 LEAD at MIN. 1.0% UNLESS OTHERWISE NOTED.
- ALL STORM MAINS TO BE INSTALLED c/w GASKETED JOINTS.
- ALL CATCH BASINS TO BE AS PER DOBNEY No. 23 (GRATE) AND No. 24 (FRAME) OR APPROVED EQUIVALENT c/w 150Ø PVC SDR 35 LEAD at MIN. 1.0% UNLESS OTHERWISE NOTED.
- ALL STORM CONNECTIONS TO EXCLUDE BUILDING SUMPS. SUMPS TO BE BY OTHERS.
- ALL SANITARY AND WATER MAINS AND CONNECTIONS WITH LESS THAN 1.8m COVER TO BE CONCRETE ENCASED PER MMCD STD. DWG. G7.
- ALL STORM PIPES WITH LESS THAN 1.0m COVER TO BE CONCRETE ENCASED PER MMCD STD. DWG. G7 OR DWV PIPE IN ACCORDANCE WITH BRITISH COLUMBIA PLUMBING CODE, 2018.
- JOINTS OF EXISTING WATERMAIN ARE TO BE WRAPPED WITH PETROLATUM TAPE WITHIN 3.0m ON EACH SIDE OF ALL CROSSINGS, WHERE WATERMAIN IS BELOW STORM OR SANITARY SEWER SERVICES OR IF 0.5m VERTICAL CLEARANCE ABOVE STORM OR SANITARY SEWER/SERVICES CANNOT BE ACHIEVED, IN ACCORDANCE WITH THE LATEST VERSION OF AWWA STANDARDS C217, C214 OR C209.
- REINSTATE ALL DISTURBED BOULEVARDS, SHOULDERS, CONCRETE AND ASPHALT SIDEWALK AND DRIVEWAYS TO ORIGINAL OR BETTER CONDITION.
- ADJUST ALL EXISTING MANHOLE, VALVE, ETC. RIM ELEVATIONS AS REQUIRED TO MEET PROPOSED GRADES.
- REINSTATE ROAD CUTS AS PER MMCD STANDARD DRAWING G5: PERMANENT RESTORATION.
- ALL WATER MAIN JOINTS AND FITTINGS TO BE FULLY RESTRAINED.
- EXISTING GAS SERVICE INFRASTRUCTURE TO BE DECOMMISSIONED AND CAPPED AT MAIN BY OTHERS.
- EXISTING GAS METER ACCOUNTS TO BE CLOSED (TYPx3) AND METERS RETURNED TO OWNER AFTER DECOMMISSIONING IS COMPLETE.
- ITEMS MARKED WITH "TO BE REMOVED" MUST BE DISPOSED OFFSITE AT APPROVED FACILITIES.

BEFORE YOU DIG

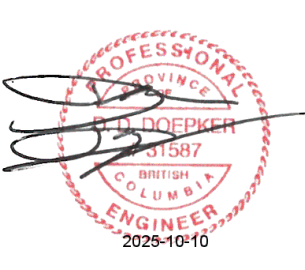
EXISTING UNDERGROUND UTILITIES SHOWN ON THIS DRAWING WERE COMPILED FROM A COMBINATION OF VARIOUS AS-CONSTRUCTED RECORD DRAWINGS AND SOME FIELD SURVEYS. THIS INFORMATION IS NOT NECESSARILY ACCURATE OR COMPLETE AND MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION WHERE POTENTIAL CONFLICTS EXIST. CONTRACTOR TO CONTACT TELUS, B.C. HYDRO, FORTISBC AND BC ONE CALL PRIOR TO CONSTRUCTION TO CONFIRM LOCATIONS OF UTILITIES AND APPURTENANCES REQUIRING ADJUSTMENT. ANY DISCREPANCIES REQUIRING CHANGES TO THE DESIGN MUST BE REPORTED TO KM CIVIL CONSULTANTS IMMEDIATELY.

No.	DATE	REVISION	DRN	TECH	ENG
6					
5					
4					
3	2025.10.10	RE-ISSUED FOR DEVELOPMENT PERMIT	NWP	CM	DDD
2	2025.09.04	ISSUED FOR DEVELOPMENT PERMIT	NWP	CM	DDD
1	2025.05.15	SCHEMATIC DESIGN SUBMISSION	NWP	CM	DDD

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BC HOUSING c/o  
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CHILLIWACK, B.C., V2P 4N2  
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SITE SERVICING PLAN

3879, 3887, AND 3895 ALFRED AVENUE, SMITHERS, B.C.  
DESIGNED: DBL  
DRAWN: DBL  
REVIEWED: DBL  
APPROVED: DBL  
SCALE: HORZ 1:150  
VERT.

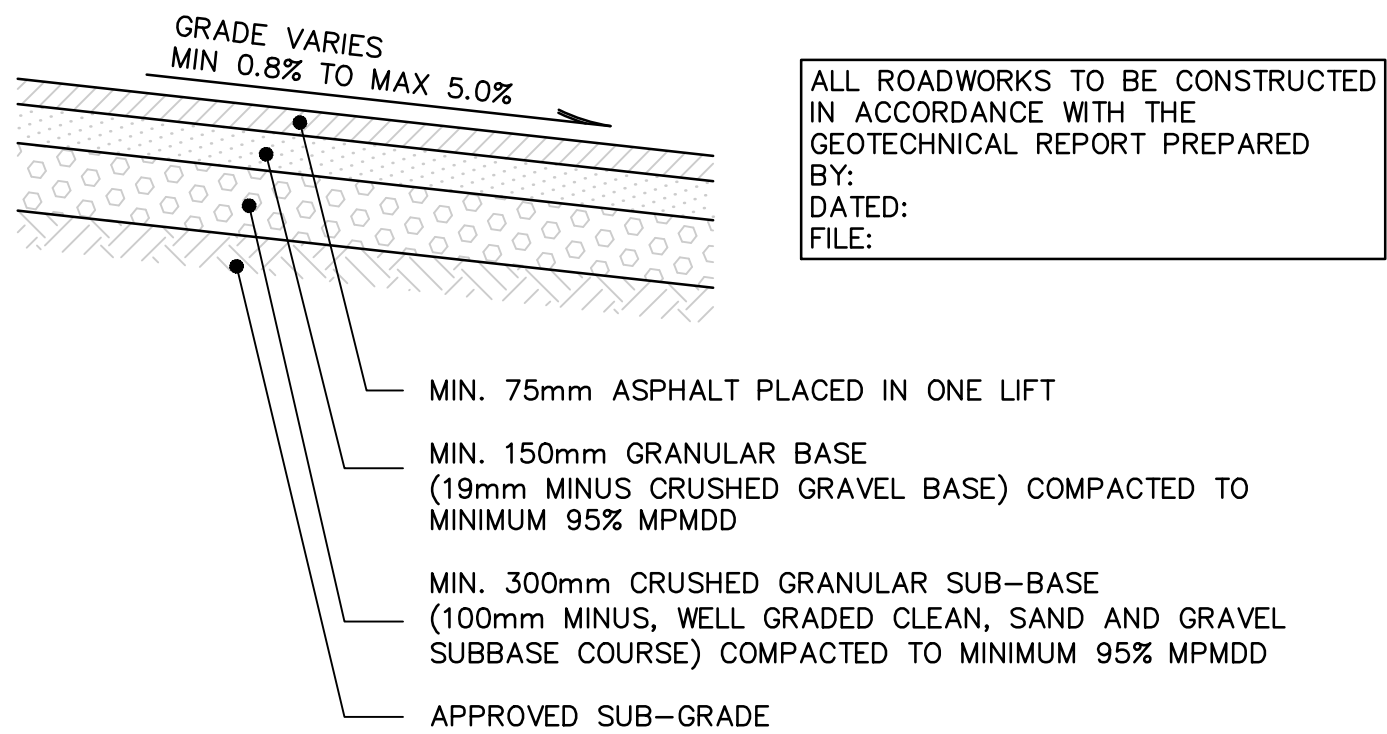
MUNICIPAL PROJECT NUMBER:	DRAWING No.:
MUNICIPAL DRAWING NUMBER:	3
KM CIVIL PROJECT No.:	240477-C
DATE: FEBRUARY, 2025	REVISION No. 3

PRINT DATE Oct 10, 2025  
C:\Users\km\OneDrive\Desktop\Drawings\Current\3879-3887-3895 Alfred Ave. Smithers - BC Housing\3-Design\City\Current\3879-3887-3895.dwg

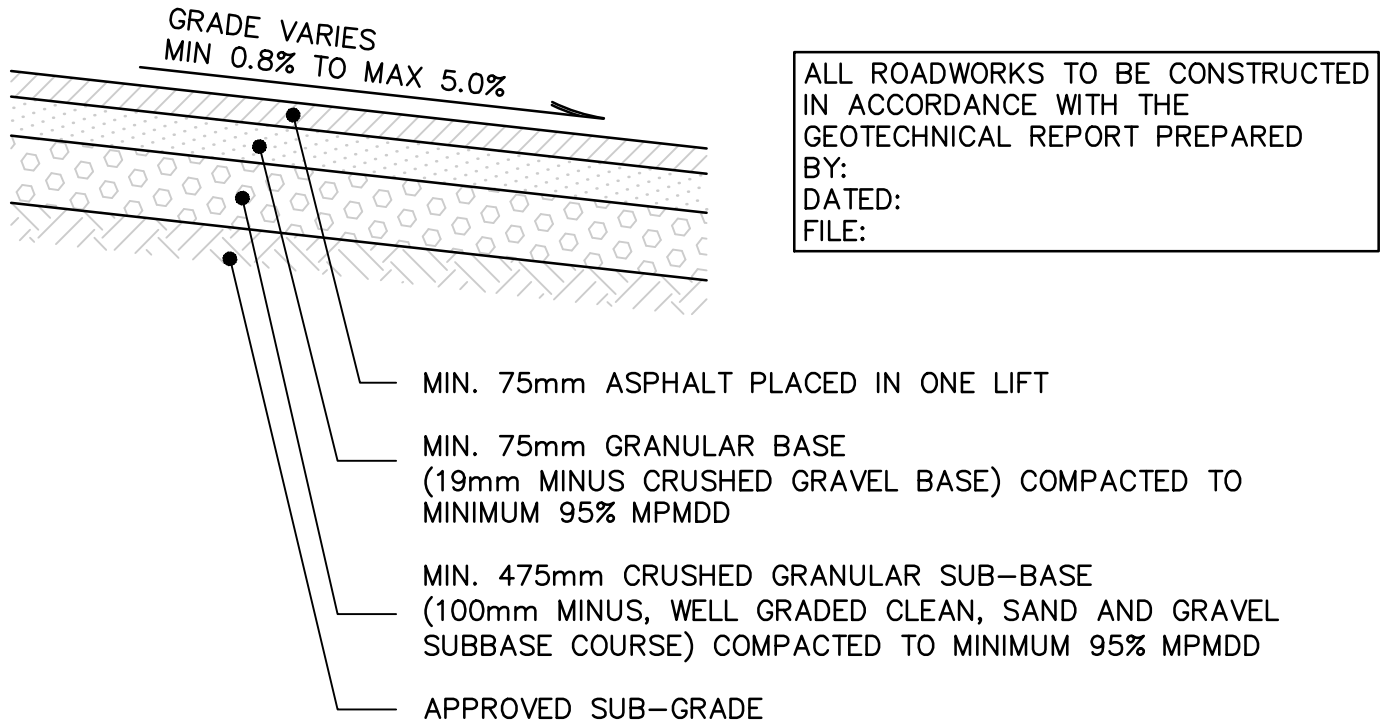
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**TYPICAL ONSITE ASPHALT STRUCTURE SECTION**  
N.T.S.



**TYPICAL LANE ASPHALT STRUCTURE  
SECTION**  
N.T.S.

PLOT DATE Oct 10, 2025  
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BC Housing & Design Ltd. Current: Heather Honeycutt, C. 4420.dwg

6					
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3	2025.10.10	RE-ISSUED FOR DEVELOPMENT PERMIT	NWP	CM	DDD
2	2025.09.04	ISSUED FOR DEVELOPMENT PERMIT	NWP	CM	DDD
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EGBC PERMIT TO PRACTICE No. 1005887

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EMAIL: HHoneycutt@soarchitects.com

**CONSTRUCTION DETAILS**

3879, 3887, AND 3895 ALFRED AVENUE, SMITHERS, B.C.

DESIGNED: CQM	DRAWN: DBL	REVIEWED: DDD	APPROVED: DDD	SCALE: HORZ. VERT. N.T.S.
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MUNICIPAL PROJECT NUMBER:	DRAWING No.:
MUNICIPAL DRAWING NUMBER:	4
KM CIVIL PROJECT No.: 240477-C	of 6
DATE: FEBRUARY, 2025	REVISION No. 3

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